

**SPECIAL USE APPROVAL  
OCONEE COUNTY, GEORGIA**

**TITLE**

A Resolution granting Special Use Approval, as provided by the Unified Development Code of Oconee County, Georgia, pursuant to Article 12, Division I et seq.

**ENACTMENT CLAUSE**

Pursuant to the authority conferred by the Constitution and Laws of the State of Georgia and after consideration of an application for a change in conditions of approval for Special Use case no. 6077, submitted by Smith Planning Group, LLC on September 24, 2018 requesting Special Use Approval on a ±21.652 acre tract of land located approximately .22 miles north of the intersection of Malcom Bridge Road and Hog Mountain Road in the 221<sup>st</sup> G.M.D., Oconee County, Georgia, tax parcel no. B-03-052B, on property owned by Grace Fellowship Church of God, the Board of Commissioners of Oconee County does hereby grant following:

SECTION 1. A Resolution granting Special Use Approval for the property described above and on the attached Exhibit A is hereby granted for a community-scale church.

Said Special Use Approval is subject to the following conditions as set forth in "Exhibit A" attached hereto.

SECTION 2. Severability. It is intended that the provisions of this Resolution be severable and should any portion be held invalid, such invalidity shall not affect any other portion of the Resolution.

SECTION 3. Repeal of Conflicting Resolutions or Ordinances. All Resolutions or Ordinances and parts or sections of Resolutions or Ordinances in conflict with this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Resolution shall take effect this date.

Said Special Use Approval application was submitted to the Oconee County Planning Commission and a Public Hearing was duly held by same on November 12, 2018, and a Public Hearing was held by the Oconee County Board of Commissioners at its regular meeting on December 4, 2018.

ADOPTED AND APPROVED, this 4<sup>th</sup> day of December, 2018.

**OCONEE COUNTY BOARD OF COMMISSIONERS**

BY: [Signature]  
John Daniell, Chairman

[Signature]  
Mark Thomas, Member

[Signature]  
Chuck Horton, Member

[Signature]  
W. E. "Bubber" Wilkes, Member

[Signature]  
Mark Saxon, Member

ATTEST:

[Signature]  
Kathy Hayes  
Clerk, Board of Commissioners

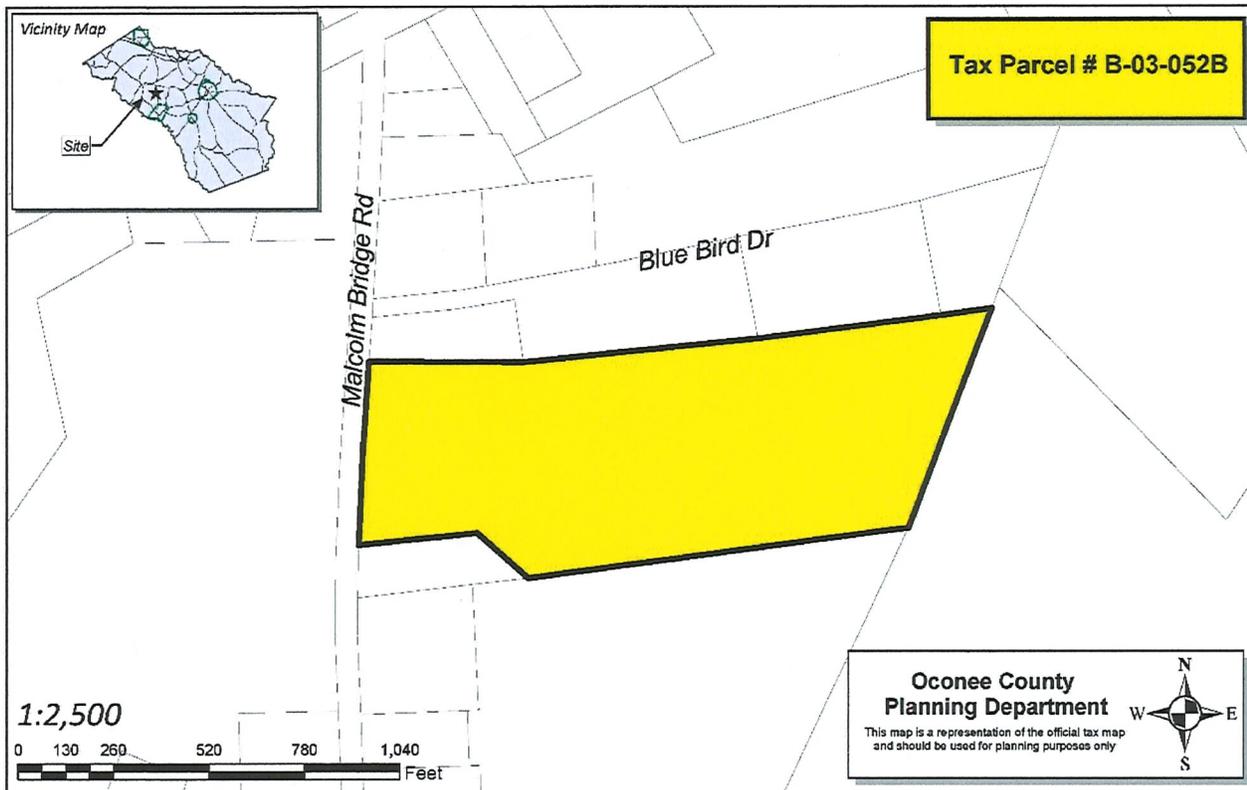


CONDITIONS

Staff recommends conditional approval of this rezone request. Staff recommends the following conditions to be fulfilled by the owner/developer at their expense:

1. The total building square footage, including all proposed and existing buildings, shall not exceed 86,160 square feet.
2. All site lighting, including any existing lighting, shall consist solely of full cutoff luminaires as defined by the Illuminating Engineering Society of North America.
3. The developer shall construct right-of-way improvements at the proposed entrance including a deceleration lane and a center-left turn lane. Final design and location of such improvements shall be subject to review and approval by the Public Works Director.
4. Any and all transportation improvements, including but not limited to the improvements proposed along Malcom Bridge Road and depicted on the associated concept plan dated 10/11/18, shall be completed prior to the issuance of a certificate of occupancy for the expansion of the main church building.
5. A 25-foot landscape buffer, meeting the design standards of UDC Section 808 and incorporating dense evergreen plant material and a fence, shall be constructed along all property lines adjoining residential and agricultural uses and zoning except that the eastern property line adjoining tax parcel number A-05-018 shall only be required to meet the minimum applicable design standards for incompatible-use buffers outlined in UDC Section 808.
6. The landscape strip along the Malcom Bridge Road right-of-way shall incorporate evergreen plant material measuring at least three feet in height in addition to the minimum standards for landscape strips required by UDC Section 805.
7. All proposed screening and buffers shall be installed prior to the issuance of a certificate of occupancy for the expansion of the main church building.

TAX MAP

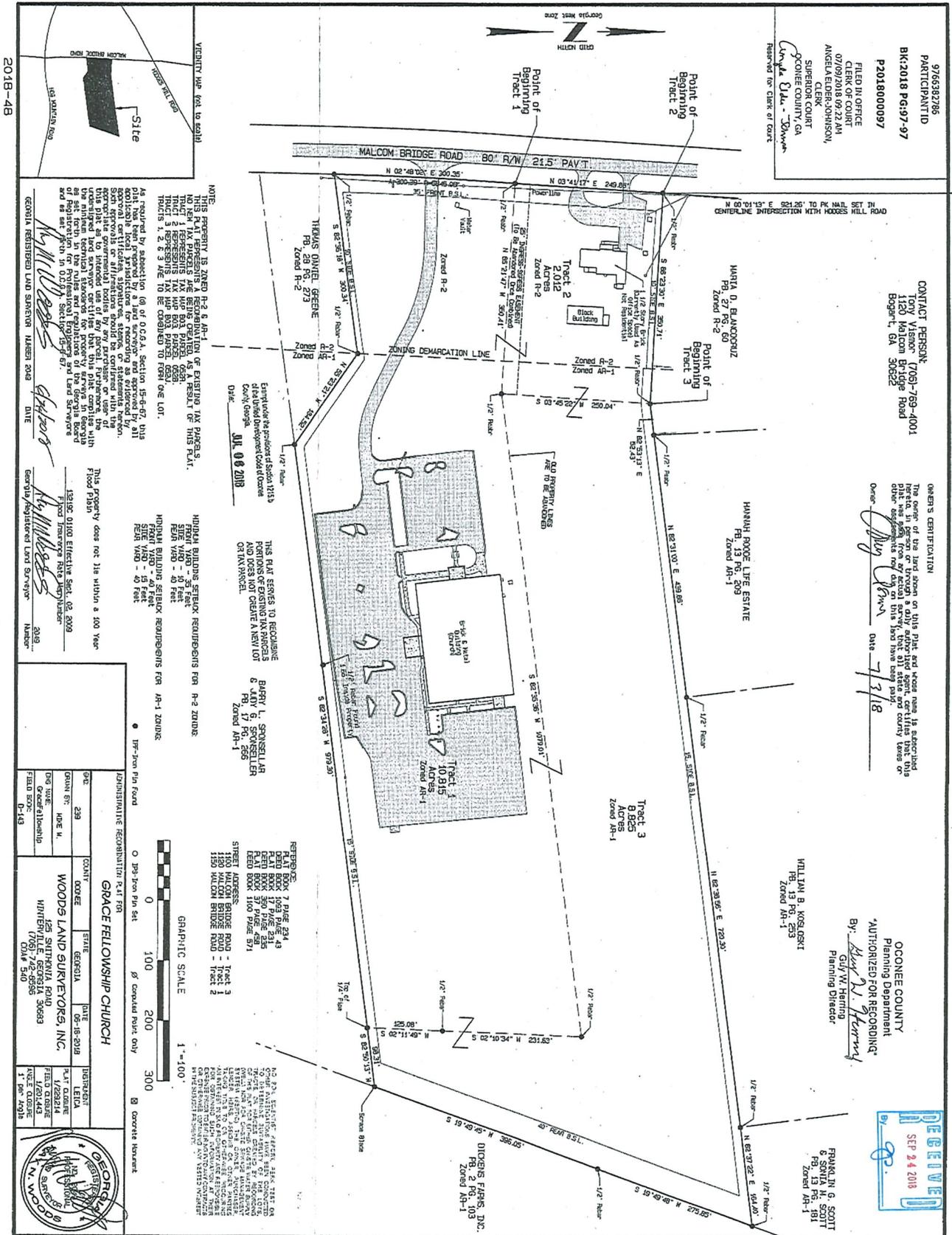


LEGAL DESCRIPTION

All that tract or parcel of land, lying and being in the 239th G.M.D. of Oconee County, Georgia and being described as follows:

Commencing at the Point of Beginning, being an iron pin of the eastern right of way of Malcom Bridge Road & being South 00°01'13" West a distance of 921.26 feet from the centerline intersection with Hodges Mill Road; thence South 86°23'30" East, a distance of 350.71 feet to an iron pin; thence North 82°53'13" East, a distance of 52.43 feet to an iron pin; thence North 82°31'00" East, a distance of 439.86 feet to an iron pin; thence North 82°36'56" East, a distance of 720.30 feet to an iron pin; thence North 82°37'22" East, a distance of 164.40 feet to an iron pin; thence South 19°49'48" West, a distance of 275.85 feet to an iron pin; thence South 19°49'45" West, a distance of 396.05 feet to an iron pin; thence South 82°50'13" West, a distance of 98.31 feet to an iron pin; thence South 82°34'28" West, a distance of 979.30 feet to an iron pin; thence North 55°23'21" West, a distance of 184.52 feet to an iron pin; thence South 82°36'18" West, a distance of 300.34 feet to an iron pin on the eastern right of way of Malcom Bridge Road at a point of cusp on a curve concave to the east having a radius of 5,845.06 feet and being subtended by a chord which bears North 02°48'02" East 300.35 feet; thence northerly along said curve, a distance of 300.39 feet to an iron pin found on said right of way; thence North 03°41'17" East, a distance of 249.86 feet to the Point of Beginning. Containing 21.652 Acres, more or less.

PLAT



97658296  
 PARTICIPANT ID  
 BK2018 P6197-97  
 P2018000097  
 FILED IN OFFICE  
 CLERK OF COURT  
 07/09/2018 09:22 AM  
 ANGELA ELDER-JOHNSON  
 CLERK  
 SUPERIOR COURT  
 OCOOEE COUNTY, GA  
 Cynthia Dale - Sawyer  
 Reserved for Clerk of Court

CONTACT PERSON: 706-769-4001  
 LARRY VASCON  
 1101 VASCON BLVD  
 BOGART, GA 30622

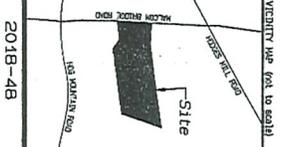
OWNER'S CERTIFICATION  
 The owner of the land shown on this Plat and herein upon is subscribed hereat, in person or through a duly authorized agent, certifies that this is a true and correct copy of the original as shown on the records of the county clerk of Ocoee County, Georgia, and that the same is a true and correct copy of the original as shown on the records of the county clerk of Ocoee County, Georgia.

Owner: *Cynthia Dale Sawyer* Date: 7/18

OCOEE COUNTY  
 Planning Department  
 AUTHORIZED FOR RECORDING  
 By: *Barbara Fleming*  
 Planning Director

WILLIAM B. KROGOSKI  
 PB. 13 PG. 233  
 Zoned AH-1

FRANKLIN G. SCOTT  
 & SONIA H. SCOTT  
 PB. 13 PG. 181  
 Zoned AH-1



NOTE:  
 THIS PROPERTY IS ZONED R-2, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, R-11, R-12, R-13, R-14, R-15, R-16, R-17, R-18, R-19, R-20, R-21, R-22, R-23, R-24, R-25, R-26, R-27, R-28, R-29, R-30, R-31, R-32, R-33, R-34, R-35, R-36, R-37, R-38, R-39, R-40, R-41, R-42, R-43, R-44, R-45, R-46, R-47, R-48, R-49, R-50, R-51, R-52, R-53, R-54, R-55, R-56, R-57, R-58, R-59, R-60, R-61, R-62, R-63, R-64, R-65, R-66, R-67, R-68, R-69, R-70, R-71, R-72, R-73, R-74, R-75, R-76, R-77, R-78, R-79, R-80, R-81, R-82, R-83, R-84, R-85, R-86, R-87, R-88, R-89, R-90, R-91, R-92, R-93, R-94, R-95, R-96, R-97, R-98, R-99, R-100.

THIS PLAT SERVES TO RECONCILE PORTIONS OF EXISTING PARCELS AND DOES NOT CREATE A NEW LOT OR AN IMPROVEMENT.

BARRY L. SPONSELLER  
 & JUDY G. SPONSELLER  
 PB. 13 PG. 233  
 Zoned AH-1

MINIMUM BUILDING SETBACK REQUIREMENTS FOR R-2 ZONING:  
 SIDE YARD - 10 Feet  
 FRONT YARD - 10 Feet  
 REAR YARD - 10 Feet  
 SIDE WALK - 5 Feet  
 SIDE WALK - 5 Feet

MINIMUM BUILDING SETBACK REQUIREMENTS FOR R-3 ZONING:  
 SIDE YARD - 10 Feet  
 FRONT YARD - 10 Feet  
 REAR YARD - 10 Feet  
 SIDE WALK - 5 Feet  
 SIDE WALK - 5 Feet

MINIMUM BUILDING SETBACK REQUIREMENTS FOR R-4 ZONING:  
 SIDE YARD - 10 Feet  
 FRONT YARD - 10 Feet  
 REAR YARD - 10 Feet  
 SIDE WALK - 5 Feet  
 SIDE WALK - 5 Feet

TRACT	OWNER	STATE	DATE	INTEREST
239	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
240	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA
241	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
242	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA
243	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
244	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA
245	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
246	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA
247	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
248	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA
249	WOODS LAND SURVEYORS, INC.	GEORGIA	05-18-2018	LETOA
250	HINTERVILLE, GEORGIA 30633	GEORGIA	05-18-2018	LETOA



2018-48



NARRATIVE

INTRODUCTION

Grace Fellowship Church of God, Inc, a Spirit-filled contemporary Christian Church, is a multi-ethnic and multi-generation community of faith built upon the person of Jesus Christ.

Grace Fellowship Church of God, Inc began in February 1997 with 30 people who desired to see God reveal His glory in them, their families, the community, and ultimately around the world. Since that time, God has accomplished much through the lives of those who call Grace Fellowship Church of God, Inc home. Today more than a thousand people attend weekly worship services. Each week new believers cross the line of faith as they place their faith and hope in Christ alone for salvation and life transformation. Through the graciousness of God and the generosity of His people, we have missions work in North America, South America, Central America, Asia, India, and throughout the Middle East.

The purpose of this request is to modify the existing Special-Use Permit to accommodate the future growth of the church.

SITE DESCRIPTION

The 21.652 acre site, with approximately 550 linear feet of street frontage along Malcom Bridge Road, is less than a quarter mile north of the Malcom Bridge Road and Highway 53 intersection. The site parcel numbers are B 03 052B. The existing site consists of an arrangement of three buildings, and related drives / parking (totaling +/- 4.3 acres of impervious surfaces). The combined area of the existing buildings is approximately 33,230 sf. Access to Grace Fellowship Church of God, Inc is off Malcom Bridge Road, with one ingress/egress point leading to the church, as well as access to an existing +/- 250 space parking lot.

Approximately 17.4 acres (80%) of the site is maintained as lawn. The vegetation of the undisturbed open space is mostly mixed grasses, with scattered hardwoods and pines. The site's terrain consists of a gentle rolling topography falling gently to the north.

ZONING

The current zoning is AR-1 Special Use and R-2 Special Use. The western portion of the site (closest to Malcom Bridge Road) is 3.5 AC +/- of R-2 zoning, while the remaining 18.1 AC +/- of the site is AR-1.

To better utilize the property owned by the church to meet the needs for future growth, the church is requesting that the current Special Use permit be revised from the current approved plan to reflect the changes.

Properties adjacent to the site zoning and property use:  
North: AR-1 and R-2 (residential)

West: R-2 (across Malcom Bridge Road) (agriculture)  
South: AR-1 and R-2 (residential and agriculture)  
East: AR-1 (residential and agriculture)

DETAILS OF PROPOSED USE

Grace Fellowship Church of God, Inc, as illustrated on the accompanying Special Use Concept Plan and other supporting documents, proposes to expand their building and related amenities (parking, utilities, etc.). The proposed expansion will bring with it a new main entrance off Malcom Bridge Road, enlarged church and sanctuary, new counseling center, and open spaces for recreational and social opportunities within the site. The entirety of the proposed development (including all structures) will be owned, operated, and maintained by Grace Fellowship Church of God, Inc.

BUILDING PROGRAM, COST DATA AND SEQUENCE OF CONSTRUCTION

The buildings are proposed to be constructed over time according to church growth and as funding becomes available. The following is a brief description of the buildings and uses proposed:

- Main Building (sanctuary, offices, common areas, classrooms, etc.): +/- 81,160 sf
- Counseling Center: +/- 5,000 sf
- Multi-use Recreation Field: +/- 145,830 sf
- Playground: +/- 10,450 sf

Estimated Value of the Project at Completion: \$18,000,000.00 (excludes land value, building furnishings, etc.)

As stated above, approximately 17.4 acres (80%) of the site exists as lawn / open space. The vegetation of the undisturbed open space is mostly mixed grasses, with scattered hardwoods and pines. Proposed open space will be approximately 9.2 acres (42%) of open space.

ARCHITECTURE / THEME OF PROJECT

The existing building will be maintained and unmodified during the initial phase of the project (see PHASING).



Existing Church Building



Existing Church Building

Subsequent building construction will include contemporary-style construction with external materials consisting of a combination of stone, brick, glass with complementary accents.



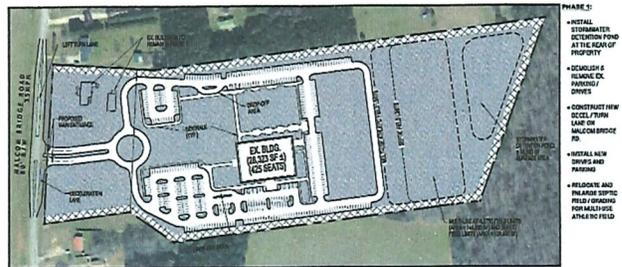
Proposed Building Addition

Outdoor recreational facilities to be provided on site include, but are not limited to sidewalks and gathering areas, a multi-use athletic field, and playground. The site is proposed to be attractively landscaped with provisions for numerous sitting and gathering areas with a variety of vegetation types.

PHASING

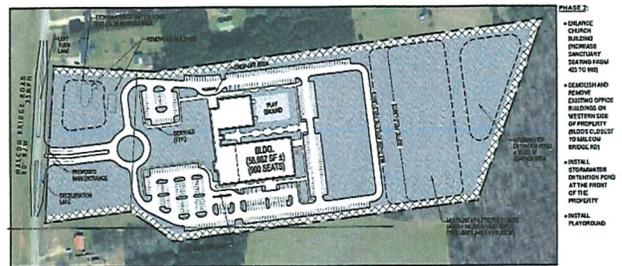
Construction will be phased to accommodate immediate needs and future expansion needs as the congregation grows:

**Phase 1:** Construction of improvements within the right-of-way of Malcom Bridge Rd, expansion of the parking facilities and relocation/expansion of on-site septic facilities. Construction forecasted to be completed in 2019.



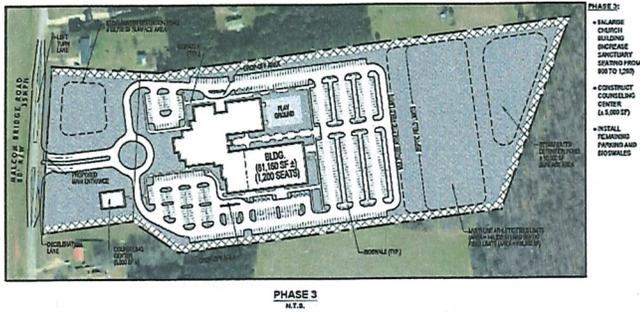
PHASE 1  
N.T.A.

**Phase 2:** Addition to church building to expand seating capacity from 425 seats to 900 seats, provide for children's ministry, playground and administrative offices. Construction forecasted to be completed in 2023.



PHASE 2  
N.T.A.

**Phase 3:** Addition to church building to include new sanctuary, nave and narthex. The seating capacity of the church will be expanded to approximately 1,200. Additional parking constructed. Construction forecasted to be completed in 2023.



**ACCESS, TRAFFIC, AND PARKING**

The Grace Fellowship Church of God, Inc site is proposing a new main entrance off Malcom Bridge Road. The new main entrance will connect with Malcom Bridge Road and provide a 160-foot left turn lane with a 150-foot taper and 100-foot deceleration lane along Malcom Bridge Road. The existing main entrance will be demolished and removed once the new main entrance is operational. Proposed vehicular circulation through the site will relocate the pick-up and drop-off locations to reflect the proposed changes to the parking lot and provide increased vehicular stacking. All paved drives within the development will remain private, with Grace Fellowship Church of God, Inc responsible for maintenance, up-keep and repairs. Parking is proposed to occur in various lots throughout the site, and adjacent to primary and ancillary buildings. Parking provided above the minimum required is a result of the property's isolation, which garners little to no pedestrian use and to accommodate church growth. The parking lot design includes concrete curb and gutter, asphalt and related thermoplastic striping.

Traffic generated by the proposed development is illustrated in the following Table. Note that, for the purposes of the Special-Use submittal, the table represents traffic generated at full build-out of the site, which is anticipated to occur incrementally over the course of many years. Detailed construction documents shall be submitted for permitting for each building/phase of the overall plan, at which point a site-specific trip generation analysis will be produced for review by the Oconee County Public Works Department. A Traffic Impact Analysis (TIA) has been prepared and accompanies this report.

**TRIP GENERATION (Based on ITE Trip Generator Manual, 9<sup>th</sup> Ed.)**

Proposed Use: Church  
 Land Use Code: 560  
 Total Units of 1,000 sf (KSF): 557  
 Malcom Bridge Road: 35 mph  
 Malcom Bridge Road - (+/-) 1.5 miles north of site (Two-Way 2016): 3,740 (Station ID: 2190288)

**EXISTING TRIP GENERATION BASED ON KSF<sup>2</sup> (UNITS OF 1,000 SF)**

Description/ ITE Code	Unit Type	Units	ADT 2- WAY	PEAK AM			PEAK PM			SUNDAY PEAK HOUR			24 HOUR Two- Way
				AM Hour	AM In	AM Out	PM Hour	PM In	PM Out	Enter	Exit	Total	
Church (560)	KSF <sup>2</sup>	28.3	258	16	10	0	0	0	0	109	114	223	209
<b>TOTAL TRIPS:</b>			258	16	10	0	0	0	0	109	114	223	209

**PROJECTED TRIP GENERATION BASED ON KSF<sup>2</sup> (UNITS OF 1,000 SF)**

Description/ ITE Code	Unit Type	Units	ADT 2- WAY	PEAK AM			PEAK PM			SUNDAY PEAK HOUR			24 HOUR Two- Way
				AM Hour	AM In	AM Out	PM Hour	PM In	PM Out	Enter	Exit	Total	
Church (560)	KSF <sup>2</sup>	81.2	740	45	28	17	0	0	0	202	210	412	341
<b>TOTAL TRIPS:</b>			740	45	28	17	0	0	0	202	210	412	341

Note: Current building size is approximately 28,323 sf. The projected building size is approximately 81,160 sf.

See also Traffic Impact Study for Grace Fellowship Church of God, Inc prepared by A&R Engineering Inc. dated August 24, 2018, as well as excerpts from the Traffic Impact Study at the end of this narrative.

**UTILITY SERVICES**

The subject site is currently served by OCPUD water service and septic drain field systems for sewer. The proposed expansion will require domestic water, fire protection, and irrigation. The estimated water demands for the full build-out of the site is shown below:

Water = 8,760 GPD  
 Water Maximum Day Demand = 9.1 GPM  
 Water Peak Hour Demand = 22.8 GPM

Sewer = on-site septic

The proposed expansion will require that the on-site septic be relocated and expanded. A Water Availability Letter has been submitted to OCPUD for review. The existing water line is located approximately on the western side and within the Malcom Bridge Road R/W.

Solid Waste will be collected onsite and disposed of by a private licensed contract service provider. Dry utility services will continue to be coordinated with the individual service providers.

**STORMWATER DRAINAGE**

Stormwater management shall comply with all local, state, and federal regulations in effect at time of construction plan approval. Throughout the site, stormwater shall be collected in swales or in drains and pipes and directed to proposed stormwater detention and water quality treatment basins. The site topography directs runoff into two basins, one along the western boundary of the property, the other along the eastern boundary. Both stormwater management facilities will be shallow into order to blend into the landscape in an aesthetically pleasing manner. The basins will treat water quality and mitigate increase runoff peak flows prior to releasing to downstream properties. All maintenance shall be the responsibility of the Owner, Grace Fellowship Church of God, Inc.

**BUFFERS**

Buffers will be installed around the exterior boundary of the project and will be, at a minimum, in accordance with Section 808 of the Oconee County Unified Development Code. As much as practical, existing vegetation shall remain within these buffers. Evergreen plant material and/or fencing with berms will be installed as appropriate within the buffer to provide adequate screening up to 6 foot with adjacent properties.

State waters buffers do not exist on-site. See the Special Use Concept Plan for specific information concerning buffer locations.

**PROJECT IDENTITY**

Project signage to be applied for under separate permit. All signs to be installed according to Article 7 of the Oconee County UDC Code.

**AQUIFER RECHARGE**

Project site lies within the boundaries of the aquifer recharge area as shown on the Ground-Water Pollution Susceptibility Map of Georgia—Hydrologic Atlas #20. Improvements will comply with section Sec. 911. - Aquifer recharge area of the OCUDC and Rules of the Department of Natural Resources, Environmental Protection Division, chapter 391-3-16-.02.

Within all significant aquifer recharge areas, construction shall not proceed on a building to be served by a septic tank or on-site sewage management system unless the Oconee County Health Department first approves the proposed septic system installation as meeting the requirements of Section M of the Georgia Department of Human Resources Manual for On-Site Sewage Management Systems relating to protection of groundwater recharge areas. Such state requirements are also found under the Rules of the Department of Natural Resources, Environmental Protection Division, chapter 391-3-16-.02.



**Planning and Code Enforcement Department  
Oconee County, Georgia  
STAFF REPORT**

**SPECIAL USE CASE NO. 7581**

**DATE:** October 24, 2018

**STAFF REPORT BY:** Gabriel Quintas, Assistant Director

**APPLICANT NAME:** Smith Planning Group, LLC

**PROPERTY OWNER:** Grace Fellowship Church of God, Inc.

**LOCATION:** East side of Malcom Bridge Road, near the intersection of Malcom Bridge Rd and Hodges Mill Rd

**PARCEL SIZE:** ± 21.652 Acres

**EXISTING ZONING:** AR-1 (Agricultural Residential One Acre District) and R-2 (Two Family Residential District)

**2040 CHARACTER AREAS MAP:** Suburban Neighborhood

**EXISTING LAND USE:** Community-scale church

**SPECIAL USE REQUESTED:** Unified Development Code: Table 2.2, “Churches and Other Places of Worship: Community Scale” – Special Use / R-2 & AR-1 (Two Family Residential District and Agricultural Residential One-Acre District)

**REQUEST SUMMARY:** The owner is petitioning for a modification of special use approval no. 6077 to allow an expansion of the existing community-scale church campus.

**STAFF RECOMMENDATION:** Staff recommends conditional approval of this special use modification request.

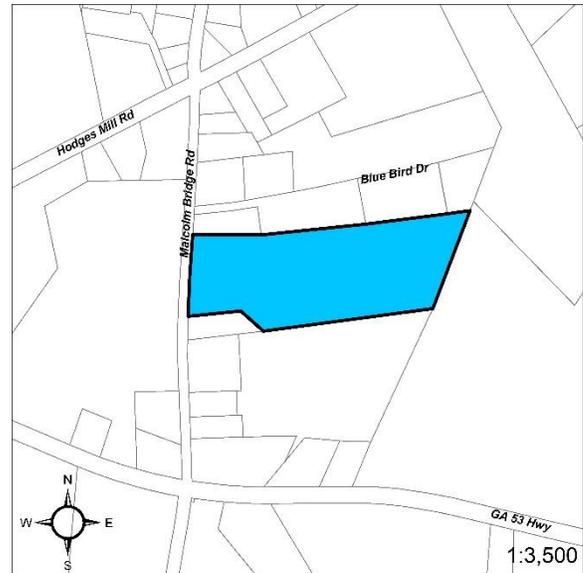
**DATE OF SCHEDULED HEARINGS**

**PLANNING COMMISSION:** November 12, 2018

**BOARD OF COMMISSIONERS:** December 04, 2018

**ATTACHMENTS:**

Application  
Special Use Impact Analysis  
Narrative  
Site Review  
Aerial Photo  
Tax Map  
Plat of Survey  
Representative Photograph  
Concept Plan  
Copy of Special Use Resolution No. 6077 & 3243



## **BACKGROUND INFORMATION & FINDINGS OF FACT**

### **HISTORY**

- The subject property has been partially zoned R-2 and AR-1 (formerly A-2) since the adoption of zoning in 1968.
- The subject church has been present on the site since 1997.
- 09/02/2003 – The BOC approved a conditional use permit request (no. 3243 – now known as a special use) for a 10.8-acre portion of the subject site to allow an expansion of the church’s buildings and facilities. Approval was given for approximately 51,240 square feet of total building area.
- 09/06/2011 – The BOC approved a special use modification request (no. 6077) for a 12.8-acre portion of the subject site to accommodate an expansion of the church campus and facilities. Approval was given for a maximum of 50,925 square feet of total building area.

### **SURROUNDING LAND USE AND ZONING**

	<b>EXISTING LAND USES</b>	<b>EXISTING ZONING</b>
<b>NORTH</b>	Single-family residences on lots greater than one acre	R-2 and AR-1 (Two-Family Residential District and Agricultural Residential Once Acre District)
<b>SOUTH</b>	Single-family residences and pastureland	R-2 and AR-1 (Two-Family Residential District and Agricultural Residential Once Acre District)
<b>EAST</b>	Wooded land and agricultural uses	AR-1 (Agricultural Residential Once Acre District)
<b>WEST</b>	Malcom Bridge Road right-of-way and pastureland	R-2 (Two-Family Residential District)

### **SITE AND PROPOSED PROJECT DESCRIPTION**

The applicant is proposing a phased expansion of the existing church buildings and facilities. The present special use request would also incorporate additional land not presently approved for a community-scale church special use. In addition to the building expansion described below, the applicant is proposing to develop a 10,450 sq. ft. playground area and a 145,830 sq. ft. multi-use athletic field.

The existing church buildings have a total area of approximately 33,243 sq. ft.:

- Administrative office building (split-level single-family residence) – approx. 3,120 sq. ft.
- Storage building – approx. 1,800 sq. ft.
- Church building – approx. 28,323 sq. ft.
- Existing open space – approx. 17.4 acres (80 % of the site)

The proposed church buildings, at completion, would have a total area of approximately 86,160 sq. ft.:

- Church building incorporating administrative offices, assembly, and classrooms – approx. 81,160 sq. ft.
- Counseling center – approx. 5,000 sq. ft.
- Remaining open space at full build-out – approx. 9.2 acres (42 % of the site)
- The administrative office building and storage building are proposed to be removed.

### **PUBLIC FACILITIES**

#### **Water:**

- The Oconee County Water Resources Department has indicated that sufficient water capacity exists to serve the proposed project.
- The site is currently served by the 8-inch water line located within the Malcom Bridge Road right-of-way.
- Estimated water demand for full build-out: 8,760 GPD
  - Estimated water maximum day demand: 9.1 GPM
  - Estimated water peak hour demand: 22.8 GPM

#### **Sewer:**

- Sewage disposal is currently handled by a private on-site septic system; the applicant proposes to expand and relocate the existing system to accommodate the proposed church expansion.

**Roads:**

- Interior asphalt driveways are proposed throughout the site to provide vehicular access and circulation throughout the campus.
- One entrance along Malcom Bridge Road will provide access to the site. The existing main entrance is proposed to be removed.
- The applicant proposes road improvements to the Malcom Bridge Road right-of-way including a deceleration lane and a center-left turn lane to facilitate vehicular access to the site.

**TRAFFIC PROJECTIONS**

According to the 9<sup>th</sup> Edition of the ITE Trip Generation Manual, the proposed development is projected to have the following traffic impact based on an area of 81,160 square feet for the main church building:

- 740 ADT; 45 A.M. and 412 Sunday peak hour trips (ITE Land Use: 560 – Church)

**ENVIRONMENTAL**

- No 100-Year Flood Plain or Jurisdictional Wetlands areas are located on the site.
- The subject site is entirely located within an identified Aquifer Recharge Area. The proposed project will therefore be required to comply with any requirements for new construction and sewage disposal as outlined in UDC Section 912 and as required by other state and federal agencies.
- Stormwater will be collected in swales or drains and pipes and directed to proposed stormwater detention basins.

---

**STAFF ANALYSIS**

THE ANALYSIS OF THE APPLICATION IS MADE BASED UPON THE “STANDARDS FOR SPECIAL USE CONSIDERATION” AS SET FORTH IN SECTION 1207.02 OF THE *OCONEE COUNTY UNIFIED DEVELOPMENT CODE*.

- A. Will the proposed special use be consistent with the stated purpose of the zoning district in which it will be located?** The majority of the subject site is currently zoned AR-1; a smaller portion of the site along Malcom Bridge Road is zoned R-2 as is typical within the former municipal limits of Eastville. Residential districts are intended to accommodate churches and allow close proximity to the residential communities surrounding the church. However, community-scale churches are allowed strictly by special use in the R-2 and AR-1 residential zoning districts to ensure that the property and surrounding area are appropriate to accommodate the presence of a large church. Staff notes that the expansion would be in conformity with the restrictions and standards set forth for community-scale churches located in residential zoning districts as outlined in UDC Section 316. Specifically, the subject expansion will be located on a site that is greater than five acres; all access to the site is proposed along a major collector and the site has sufficient road frontage along a major collector; and an incompatible-use structural buffer is proposed along all agricultural and residential uses surrounding the site. Based on the foregoing, staff believes that the proposed expansion of the buildings and facilities is consistent with the intent of the AR-1 and R-2 zoning districts.
- B. Is the proposed special use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?** The 2040 Character Areas Map designates the subject site a character area of Suburban Neighborhood. The 2040 Comprehensive Plan specifically cites “single-family residential subdivisions, conservation subdivisions, and master-planned developments” as primary land uses within this character area, while “semi-public and institutional uses” are mentioned as compatible secondary land uses. The expansion, with all road and buffer improvements as proposed, should not pose any detriment to the suburban character of the neighborhood. Staff believes that the present request is in keeping with the goals, objectives, purpose, and intent of the Comprehensive Plan.
- C. Will the establishment of the special use impede the normal and orderly development of surrounding property for uses predominate in the area?** The special use has been an established use on portions of the subject site for approximately twenty years. An expansion of the buildings and facilities, with all road and buffer improvements as proposed, should not impede the normal and orderly development of surrounding property.

- D. Is the location and character of the proposed special use consistent with a desirable pattern of development for the locality in general?** The subject use is already an established use on a portion of the site. The subject site lies in close proximity to several major collectors that should be able to accommodate the increased traffic impact expected of the proposed expansion. The character of the Malcom Bridge corridor within Eastville is diverse; commercial, two-family and single-family residential, agricultural, and institutional uses are all present within the general vicinity surrounding the subject site. Staff believes that the proposed expansion would conform to the varied pattern of development common to the Eastville area.
- E. Is or will the type of street providing access to the use be adequate to serve the proposed special use?** Malcom Bridge Road is classified a major collector by the Unified Development Code, and Public Works Department staff has indicated that the proposed improvements to the road should alleviate most of the additional traffic that will be generated by the proposed expansion. Staff therefore believes that the road providing access to the site should be adequate to serve the proposed expansion.
- F. Is or will access into and out of the property be adequate to provide for traffic and pedestrian safety, the anticipated volume of traffic flow, and access by emergency vehicles?** The site will be served by one entrance along Malcom Bridge Road. The proposed access as depicted on the associated concept plan with proposed improvements to Malcom Bridge Road should be adequate to provide for traffic and pedestrian safety, anticipated increased traffic flow, and ingress and egress by emergency vehicles.
- G. Are or will public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the special use?** Existing public facilities should be adequate to serve the proposed expansion.
- H. Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare, and odor?** The proposed expansion would create additional noise and light that could adversely affect the enjoyment and value of properties surrounding the site. To address this concern, staff has recommended enhanced screening and buffers and a requirement that all site lighting consist solely of full cut-off luminaires. If approved as conditioned below, the proposed expansion including all proposed parking areas and site improvements should be sufficiently buffered and screened from adjoining properties to mitigate the noise and light generated by the existing church and proposed expansion.
- I. Will the hours and manner of operation of the special use have no adverse effects on other properties in the area?** While a church may operate on any day of the week, the majority of the activity on the site will be held on Sundays and Wednesday evenings. Staff holds that the normal hours of operation of the church should not have any adverse effects on adjoining properties.
- J. Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?** Staff believes that the size of the main church building as proposed at completion would not be compatible with buildings common in the surrounding vicinity. Staff has addressed this concern by recommending enhanced buffering and screening requirements as conditions of approval.

---

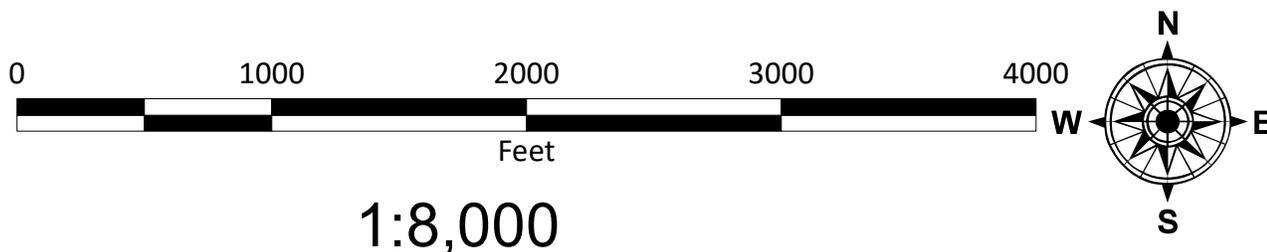
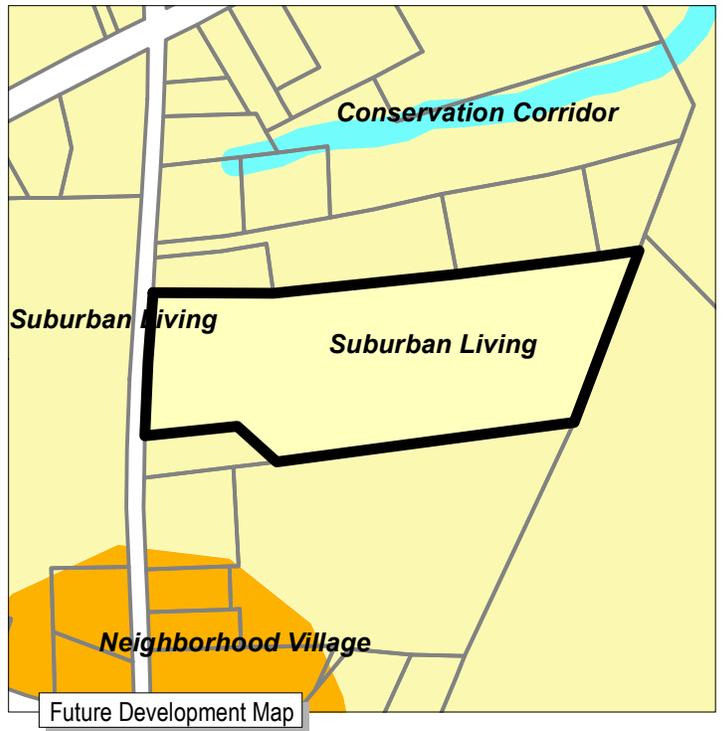
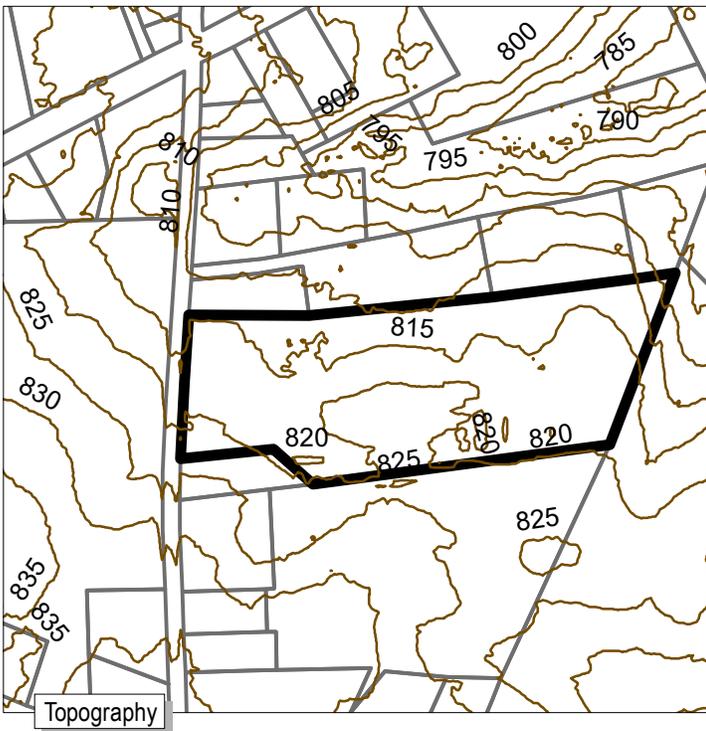
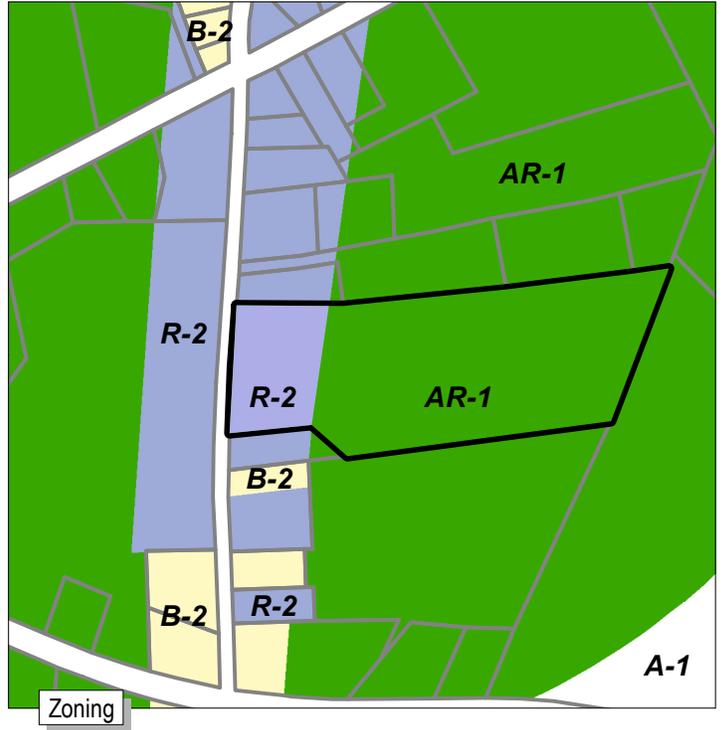
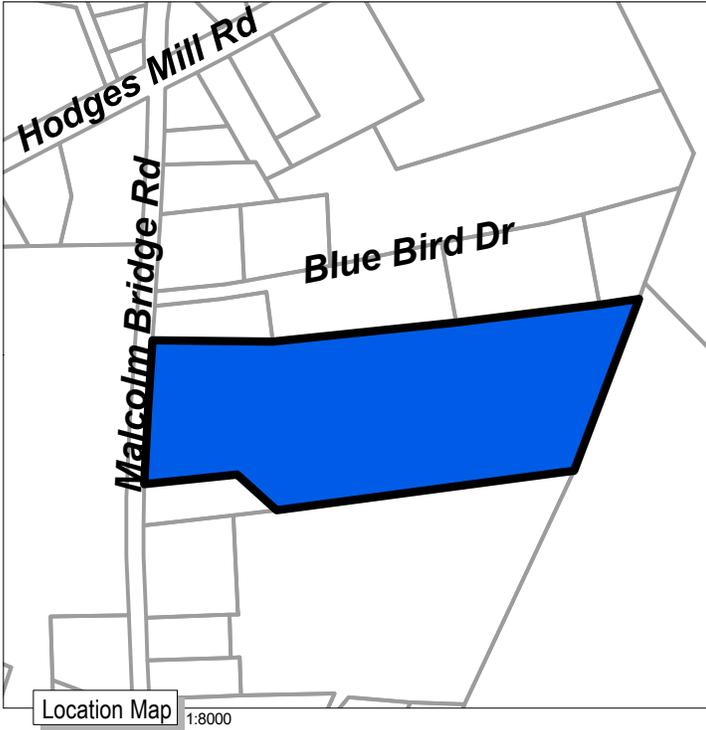
## **STAFF RECOMMENDATION & CONDITIONAL REQUIREMENTS**

Based on Board of Commissioners policies, decision-making criteria, and standards outlined in the development codes of Oconee County, staff recommends approval of the present special use request subject to the following conditions to be fulfilled by the developer/owner at his expense:

1. The total building square footage, including all proposed and existing buildings, shall not exceed 86,160 square feet.
2. All site lighting, including any existing lighting, shall consist solely of full cutoff luminaires as defined by the Illuminating Engineering Society of North America.

3. The developer shall construct right-of-way improvements at the proposed entrance including a deceleration lane and a center-left turn lane. Final design and location of such improvements shall be subject to review and approval by the Public Works Director.
4. Any and all transportation improvements, including but not limited to the improvements proposed along Malcom Bridge Road and depicted on the associated concept plan dated 10/11/18, shall be completed prior to the issuance of a certificate of occupancy for the expansion of the main church building.
5. A 25-foot landscape buffer, meeting the design standards of UDC Section 808 and incorporating dense evergreen plant material and a fence, shall be constructed along all property lines adjoining residential and agricultural uses and zoning except that the eastern property line adjoining tax parcel number A-05-018 shall only be required to meet the minimum applicable design standards for incompatible-use buffers outlined in UDC Section 808.
6. The landscape strip along the Malcom Bridge Road right-of-way shall incorporate evergreen plant material measuring at least three feet in height in addition to the minimum standards for landscape strips required by UDC Section 805.
7. All proposed screening and buffers shall be installed prior to the issuance of a certificate of occupancy for the expansion of the main church building.
8. Illuminated and LED signage is prohibited.

# 1120 Malcom Bridge Road Site Review



**GRACE FELLOWSHIP  
 CHURCH OF GOD, INC**  
 OCONEE COUNTY, GEORGIA

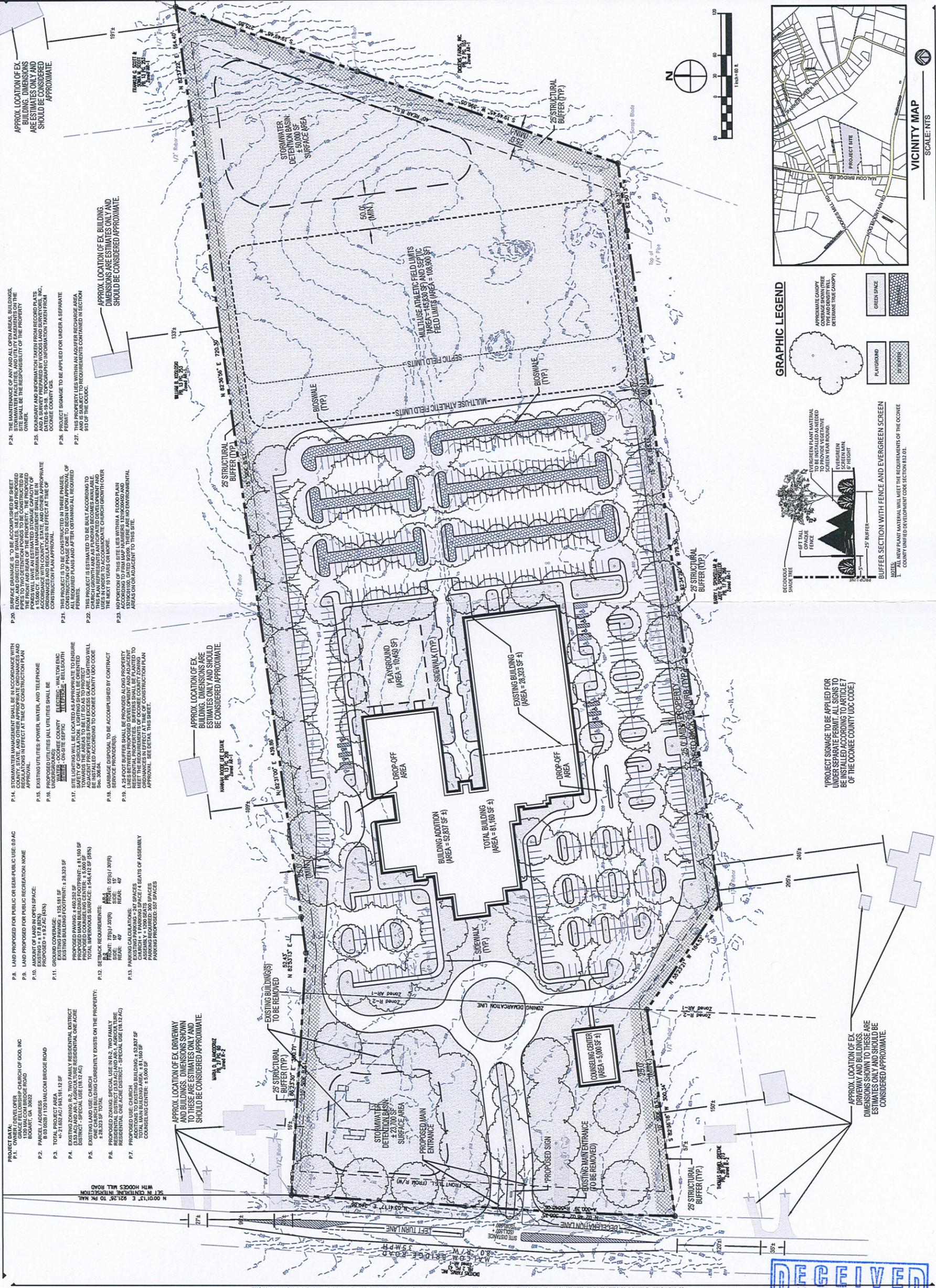


SHEET TITLE:  
**SPECIAL USE  
 CONCEPT PLAN**

SHEET ISSUE: 9/24/18 PROJECT NO. 18-2390

NO.	DATE	DESCRIPTION
1	10/8/18	ADDRESS COMMENTS
2	10/12/18	ADDRESS COMMENTS

SHEET NO. **V-0**



APPROX. LOCATION OF EX. BUILDING, DIMENSIONS AND ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

APPROX. LOCATION OF EX. DRIVEWAY AND BUILDINGS. DIMENSIONS SHOWN TO THESE ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

APPROX. LOCATION OF EX. BUILDING, DIMENSIONS ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

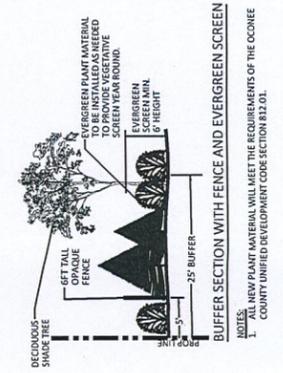
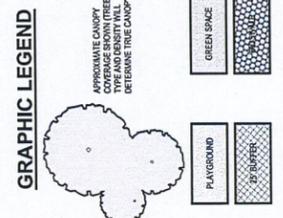
APPROX. LOCATION OF EX. BUILDING, DIMENSIONS ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

APPROX. LOCATION OF EX. BUILDING, DIMENSIONS ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

APPROX. LOCATION OF EX. DRIVEWAY AND BUILDINGS. DIMENSIONS SHOWN TO THESE ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

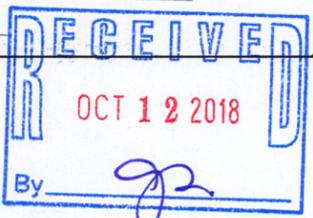
APPROX. LOCATION OF EX. DRIVEWAY AND BUILDINGS. DIMENSIONS SHOWN TO THESE ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.

APPROX. LOCATION OF EX. DRIVEWAY AND BUILDINGS. DIMENSIONS SHOWN TO THESE ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.



PROJECT SIGNAGE TO BE APPLIED FOR UNDER SEPARATE PERMIT. ALL SIGNS TO BE INSTALLED ACCORDING TO ARTICLE 7 OF THE OCONEE COUNTY UDC CODE.

APPROX. LOCATION OF EX. DRIVEWAY AND BUILDINGS. DIMENSIONS SHOWN TO THESE ARE ESTIMATES ONLY AND SHOULD BE CONSIDERED APPROXIMATE.



CONCEPT PLAN. THIS PLAN IS THE PROPERTY OF SMITH PLANNING GROUP, INC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF SMITH PLANNING GROUP, INC.

# GRACE FELLOWSHIP CHURCH OF GOD, INC

Oconee County, Georgia

## Narrative Statement

August 30, 2018

Rev. 1: October 8, 2018 (address comments)

Rev. 2: October 12, 2018 (address comments)



### INTRODUCTION

Grace Fellowship Church of God, Inc, a Spirit-filled contemporary Christian Church, is a multi-ethnic and multi-generation community of faith built upon the person of Jesus Christ.

Grace Fellowship Church of God, Inc began in February 1997 with 30 people who desired to see God reveal His glory in them, their families, the community, and ultimately around the world. Since that time, God has accomplished much through the lives of those who call Grace Fellowship Church of God, Inc home. Today more than a thousand people attend weekly worship services. Each week new believers cross the line of faith as they place their faith and hope in Christ alone for salvation and life transformation. Through the graciousness of God and the generosity of His people, we have missions work in North America, South America, Central America, Asia, India, and throughout the Middle East.

The purpose of this request is to modify the existing Special-Use Permit to accommodate the future growth of the church.

### SITE DESCRIPTION

The 21.652 acre site, with approximately 550 linear feet of street frontage along Malcom Bridge Road, is less than a quarter mile north of the Malcom Bridge Road and Highway 53 intersection. The site parcel numbers are B 03 052B. The existing site consists of an arrangement of three buildings, and related drives / parking (totaling +/- 4.3 acres of impervious surfaces). The combined area of the existing buildings is approximately 33,230 sf. Access to Grace Fellowship Church of God, Inc is off Malcom Bridge Road, with one ingress/egress point leading to the church, as well as access to an existing +/- 250 space parking lot.

Approximately 17.4 acres (80%) of the site is maintained as lawn. The vegetation of the undisturbed open space is mostly mixed grasses, with scattered hardwoods and pines. The site's terrain consists of a gentle rolling topography falling gently to the north.

### ZONING

The current zoning is AR-1 Special Use and R-2 Special Use. The western portion of the site (closest to Malcom Bridge Road) is 3.5 AC +/- of R-2 zoning, while the remaining 18.1 AC +/- of the site is AR-1.

To better utilize the property owned by the church to meet the needs for future growth, the church is requesting that the current Special Use permit be revised from the current approved plan to reflect the changes.

Properties adjacent to the site zoning and property use:

North: AR-1 and R-2 (residential)

West: R-2 (across Malcolm Bridge Road) (agriculture)

South: AR-1 and R-2 (residential and agriculture)

East: AR-1 (residential and agriculture)

DETAILS OF PROPOSED USE

Grace Fellowship Church of God, Inc, as illustrated on the accompanying Special Use Concept Plan and other supporting documents, proposes to expand their building and related amenities (parking, utilities, etc.). The proposed expansion will bring with it a new main entrance off Malcom Bridge Road, enlarged church and sanctuary, new counseling center, and open spaces for recreational and social opportunities within the site. The entirety of the proposed development (including all structures) will be owned, operated, and maintained by Grace Fellowship Church of God, Inc.

BUILDING PROGRAM, COST DATA AND SEQUENCE OF CONSTRUCTION

The buildings are proposed to be constructed over time according to church growth and as funding becomes available. The following is a brief description of the buildings and uses proposed:

- Main Building (sanctuary, offices, common areas, classrooms, etc.): +/- 81,160 sf
- Counseling Center: +/- 5,000 sf
- Multi-use Recreation Field: +/- 145,830 sf
- Playground: +/- 10,450 sf

Estimated Value of the Project at Completion: **\$18,000,000.00** (excludes land value, building furnishings, etc.)

As stated above, approximately 17.4 acres (80%) of the site is exists as lawn / open space. The vegetation of the undisturbed open space is mostly mixed grasses, with scattered hardwoods and pines. Proposed open space will be approximately 9.2 acres (42%) of open space.

ARCHITECTURE / THEME OF PROJECT

The existing building will be maintained and unmodified during the initial phase of the project (see PHASING).



*Existing Church Building*



*Existing Church Building*

Subsequent building construction will include contemporary-style construction with external materials consisting of a combination of stone, brick, glass with complementary accents.



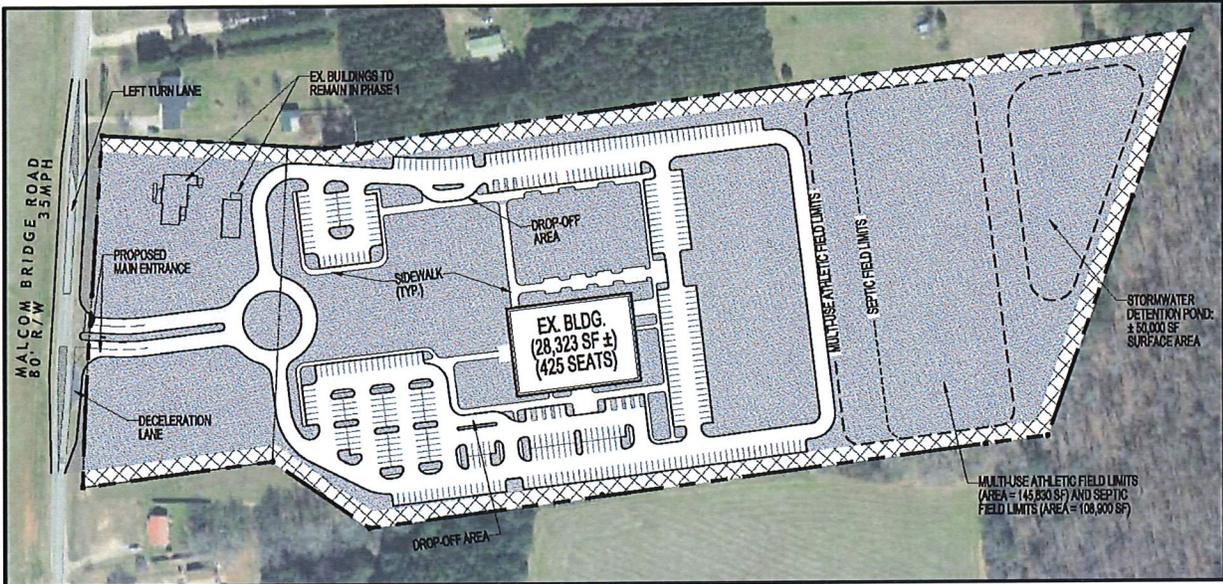
*Proposed Building Addition*

Outdoor recreational facilities to be provided on site include, but are not limited to sidewalks and gathering areas, a multi-use athletic field, and playground. The site is proposed to be attractively landscaped with provisions for numerous sitting and gathering areas with a variety of vegetation types.

PHASING

Construction will be phased to accommodate immediate needs and future expansion needs as the congregation grows:

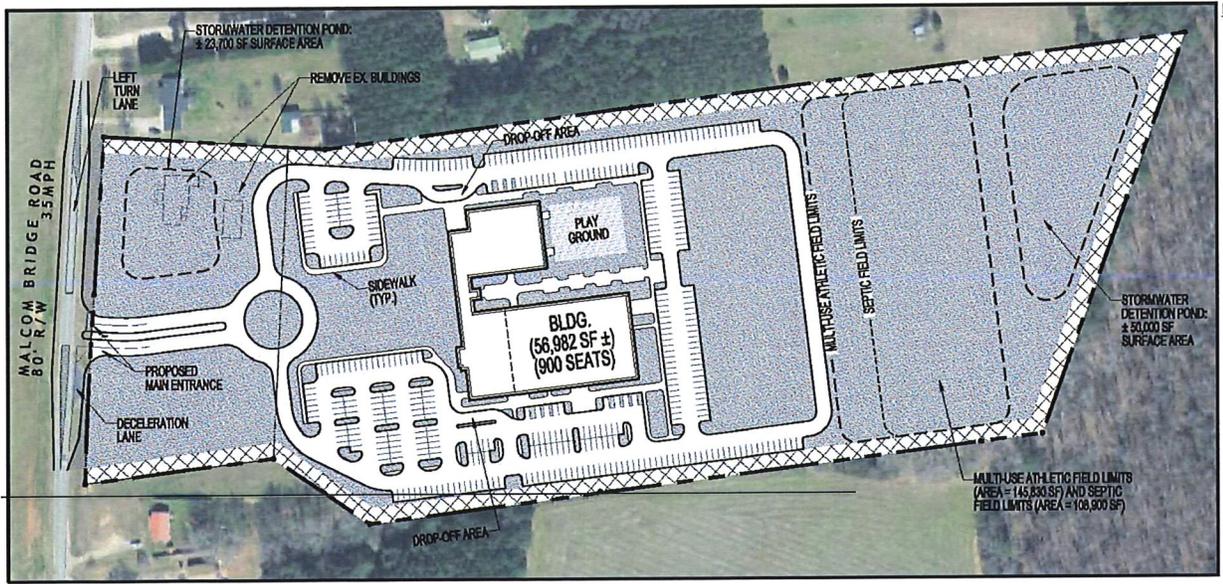
Phase 1: Construction of improvements within the right-of-way of Malcolm Bridge Rd, expansion of the parking facilities and relocation/expansion of on-site septic facilities. Construction forecasted to be completed in 2019.



- PHASE 1:**
- INSTALL STORMWATER DETENTION POND AT THE REAR OF PROPERTY
  - DEMOLISH & REMOVE EX. PARKING / DRIVES
  - CONSTRUCT NEW DECEL / TURN LANE ON MALCOM BRIDGE RD.
  - INSTALL NEW DRIVES AND PARKING
  - RELOCATE AND ENLARGE SEPTIC FIELD / GRADING FOR MULTI-USE ATHLETIC FIELD

**PHASE 1**  
 N.T.S.

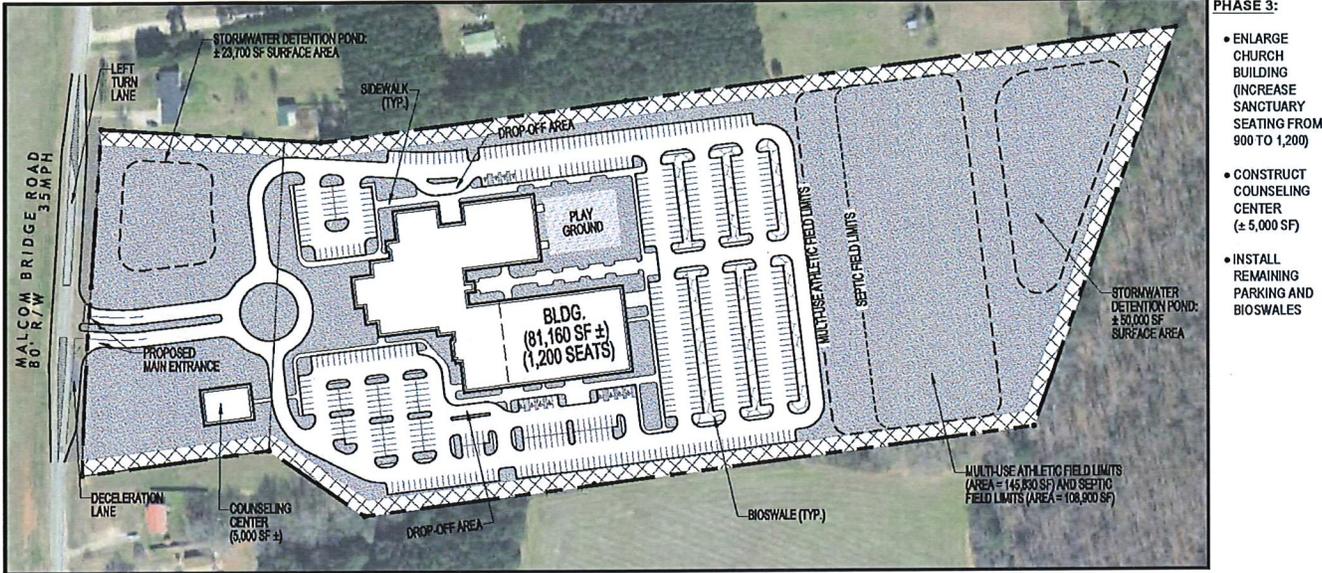
Phase 2: Addition to church building to expand seating capacity from 425 seats to 900 seats, provide for children’s ministry, playground and administrative offices. Construction forecasted to be completed in 2023.



- PHASE 2:**
- ENLARGE CHURCH BUILDING (INCREASE SANCTUARY SEATING FROM 425 TO 900)
  - DEMOLISH AND REMOVE EXISTING OFFICE BUILDINGS ON WESTERN SIDE OF PROPERTY (BLDGs CLOSEST TO MALCOM BRIDGE RD)
  - INSTALL STORMWATER DETENTION POND AT THE FRONT OF THE PROPERTY
  - INSTALL PLAYGROUND

**PHASE 2**  
 N.T.S.

Phase 3: Addition to church building to include new sanctuary, nave and narthex. The seating capacity of the church will be expanded to approximately 1,200. Additional parking constructed. Construction forecasted to be completed in 2023.



**PHASE 3**  
 N.T.S.

**ACCESS, TRAFFIC, AND PARKING**

The Grace Fellowship Church of God, Inc site is proposing a new main entrance off Malcom Bridge Road. The new main entrance will connect with Malcom Bridge Road and provide a 160-foot left turn lane with a 150-foot taper and 100-foot deceleration lane along Malcom Bridge Road. The existing main entrance will be demolished and removed once the new main entrance is operational. Proposed vehicular circulation through the site will relocate the pick-up and drop-off locations to reflect the proposed changes to the parking lot and provide increased vehicular stacking. All paved drives within the development will remain private, with Grace Fellowship Church of God, Inc responsible for maintenance, up-keep and repairs. Parking is proposed to occur in various lots throughout the site, and adjacent to primary and ancillary buildings. Parking provided above the minimum required is a result of the property’s isolation, which garners little to no pedestrian use and to accommodate church growth. The parking lot design includes concrete curb and gutter, asphalt and related thermoplastic striping.

Traffic generated by the proposed development is illustrated in the following Table. Note that, for the purposes of the Special-Use submittal, the table represents traffic generated at full build-out of the site, which is anticipated to occur incrementally over the course of many years. Detailed construction documents shall be submitted for permitting for each building/phase of the overall plan, at which point a site-specific trip generation analysis will be produced for review by the Oconee County Public Works Department. A Traffic Impact Analysis (TIA) has been prepared and accompanies this report.

- TRIP GENERATION (Based on ITE Trip Generator Manual, 9<sup>th</sup> Ed.)
- Proposed Use: Church
- Land Use Code: 560
- Total Units of 1,000 sf (KSF<sup>2</sup>): 557
- Malcom Bridge Road: 35 mph
- Malcom Bridge Road – (+/-) 1.5 miles north of site (Two-Way 2016): 3,740 (Station ID: 2190288)



#### BUFFERS

Buffers will be installed around the exterior boundary of the project and will be, at a minimum, in accordance with Section 808 of the Oconee County Unified Development Code. As much as practical, existing vegetation shall remain within these buffers. Evergreen plant material and/or fencing with berms will be installed as appropriate within the buffer to provide adequate screening up to 6 foot with adjacent properties.

State waters buffers do not exist on-site. See the Special Use Concept Plan for specific information concerning buffer locations.

#### PROJECT IDENTITY

Project signage to be applied for under separate permit. All signs to be installed according to Article 7 of the Oconee County UDC Code.

#### AQUIFER RECHARGE

Project site lies within the boundaries of the aquifer recharge area as shown on the Ground-Water Pollution Susceptibility Map of Georgia—Hydrologic Atlas #20. Improvements will comply with section Sec. 911. - Aquifer recharge area of the OCUDC and Rules of the Department of Natural Resources, Environmental Protection Division, chapter 391-3-16-.02.

Within all significant aquifer recharge areas, construction shall not proceed on a building to be served by a septic tank or on-site sewage management system unless the Oconee County Health Department first approves the proposed septic system installation as meeting the requirements of Section M of the Georgia Department of Human Resources Manual for On-Site Sewage Management Systems relating to protection of groundwater recharge areas. Such state requirements are also found under the Rules of the Department of Natural Resources, Environmental Protection Division, chapter 391-3-16-.02.

**ZONING IMPACT ANALYSIS**  
**STANDARDS FOR SPECIAL USE CONSIDERATION**  
**GRACE FELLOWSHIP CHURCH OF GOD**

- A. **Will the proposed special use be consistent with the stated purpose of the zoning district in which it will be located?** Yes. The Oconee County Unified Development Code allows churches in the AR-1 and R-2 zoning district as a Special-Use.
- B. **Is the proposed special use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?** The Future Development Map designates the subject site as Suburban Living. Churches are allowed as compatible nonresidential uses in Suburban Living.
- C. **Will the establishment of the special use impede the normal and orderly development of surrounding property for uses predominate in the area?** No, the proposed use is an expansion of the existing use. It will complement development and the existing development pattern in the area.
- D. **Is the location and character of the proposed special use consistent with a desirable pattern of development for the locality in general?** The zoning of the property is AR-1 and R-2, a classification which its intended purpose is to preserve open space and rural character. The proposed use of the tract fosters these goals and is allowed as a Special-Use within the district.
- E. **Is or will the type of street providing access to the use be adequate to serve the proposed special use?** Yes, Malcom Bridge Road, with its close proximity to Hwy. 53 and Holcomb Bridge Road, is capable of providing access to the site.
- F. **Is or will access into and out of the property be adequate to provide for traffic and pedestrian safety, the anticipated volume of traffic flow, and access by emergency vehicles?** The existing access will be removed to accommodate a new access drive to the site. Proposed improves within he right-of-way of Malcolm Bridge Road include 160-foot left turn lane with a 125-foot taper and a 100-foot deceleration lane.
- G. **Are or will public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the special use?** Use of public facilities such as streets, water, law enforcement, etc. will be required to develop and maintain the proposed use, but the demand will be no greater than similar uses. The proposed development will not have any impact on schools.
- H. **Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare, and odor?** All refuse, service, and parking/loading areas will be properly screened as to protect views from adjacent properties.
- I. **Will the hours and manner of operation of the special use have no adverse effects on other properties in the area?** The hours of operation will have no effect on the surrounding properties.
- J. **Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?** Although the proposed project contains buildings that are larger than structures on neighboring properties, the buildings are appropriately scaled for a church.



# Grace Fellowship Church Aerial View



Feet

1:3,000



# OCONEE COUNTY ZONING CHANGE APPLICATION

Requested Action:

- Rezoning from: \_\_\_\_\_ to \_\_\_\_\_
- Change in Conditions of Approval for Case #: 6077
- Special Use Approval for: \_\_\_\_\_ in the \_\_\_\_\_ Zoning District

## Applicant

Name: Smith Planning Group, LLC  
 Address: 1022 Twelve Oaks Place, Ste 201  
Watkinsville, GA 30677 (No P.O. Boxes)

## Property Owner

Name: Grace Fellowship Church of God, Inc  
 Address: 1120 Malcom Bridge Road  
Bogart, GA 30622 (No P.O. Boxes)

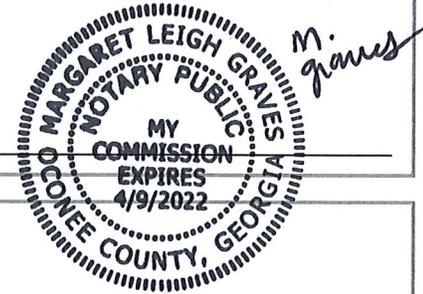
Telephone: 706-769-9515

Telephone: 706-769-4001

Applicant is (check one):  the Property Owner  Not the Property Owner (attach Property Owner's Authorization)

Applicant's Certification: I hereby certify that the information contained in and attached to this application is true and correct.

Signature: [Signature] Date: 10-11-18 Notarized: \_\_\_\_\_



## Property

Location: approx. 0.22 miles north of intersection  
between Malcom Bridge Road and Hog Mountain Road (Physical Description)

Tax Parcel Number: B 03 052B

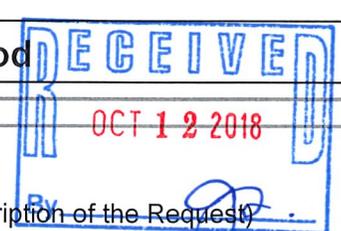
Size (Acres): 21.652 Current Zoning: AR-1 & R-2

Future Development Map—Character Area Designation: Suburban Neighborhood

## Use

Current Use: Church

Proposed Use: Church



## Attachments (check all that apply)

- Property Owner's Authorization (if applicable)
- Application Fee
- Warranty Deed
- Typed Legal Description
- Plat of Survey
- Disclosures (Interest & Campaign Contributions)
- Zoning Impact Analysis
- Narrative (Detailed Description of the Request)
- Concept Plan
- Attachments to the Concept Plan:
  - Water and/or Sewer Capacity Letter from OCUD
  - Representative Architecture/Photographs
- Proof all property taxes paid in full
- Other Attachments: \_\_\_\_\_

For Oconee County Staff Use Only

**Application**  
 Date Received: 09/24/18 Date Accepted: 10/12/18  
 DRI Transmitted to RDC  Date: \_\_\_\_\_  N/A  
 Date Submitted: \_\_\_\_\_  Findings Complete  
 Posted: \_\_\_\_\_ Ad: \_\_\_\_\_ Ad: \_\_\_\_\_  
 Application Withdrawn  Date: \_\_\_\_\_

**Action**  
 APPLICATION NUMBER 7581  
 Planning Commission Date: 11/12/18  
 Approval  With Conditions  Denial  
 Board of Commissioners Date: 12/04/18  
 Approved  With Conditions  Denied

